

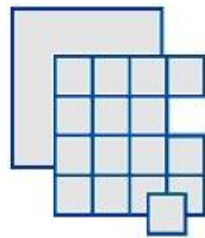
**DESIGN REVIEW BOARD
&
ADMINISTRATIVE SITE PLAN
REVIEW NARRATIVE**

**RED MOUNTAIN GATEWAY
NEC Power & McKellips**

Submitted on behalf of:



Submitted by:



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew
Reese L. Anderson
1744 S Val Vista Drive, Suite 217
Mesa, AZ 85204
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Email: ralph.pew@pewandlake.com

Submitted to:

The City of Mesa
55 N Center Street
Mesa, AZ 85201

A. PROJECT SUMMARY & REQUESTS

Pew and Lake, PLC (“Applicant”), on behalf of our client Weingarten Realty (“Owner”), respectfully submits this project narrative and supporting documents in support of a Design Review Board and Administrative Site Plan Review for a new 6,000 sq. ft. retail shops building on approximately one (1) acre located north of the NEC of Power and McKellips in Mesa, Arizona (“Property”) and is also known as a portion of APN: 219-25-683. The specific requests are as follows:

Design Review Board and Administrative Site Plan Review for modifications to the previously approved Red Mountain Gateway site plan to accommodate a new 6,000 sq. ft. retail shops building on the SWC of the Property (as shown on the proposed site plan) and new architectural design elements for the existing west elevation of the Target store in place of the former garden shop area which will be eliminated. Additionally, the new retail shops and west elevation will be reviewed for compliance with ordinance standards and design guidelines.

In short, and if approved, this DRB and Administrative Site Plan Review will accommodate the removal of the antiquated and unused Target garden center and a new retail outparcel building.

B. HISTORICAL BACKGROUND/CURRENT USE OF PROPERTY/SURROUNDING SITE USES

Commercial zoning and design review approvals for the Property was granted by Mesa in 2000 in Case No. Z00-16. Development of the site occurred the following year. Mesa’s approval included an approximately 126,000 sq. ft. Target superstore with full site improvements. A garden center has been located on the west side of the Target facility since it opened in 2001. Unfortunately, and specific to this site, strong competition from nearby home improvement retailers has had a detrimental fiscal impact on the garden center and valuable retail space has become underutilized. Similarly, on a national level, Target stores are eliminating the garden centers from many of their stores due to underperformance due from stiff competition.

The site of the new 6,000 sq. ft. retail shops building is currently zoned LC (Limited Commercial) with a General Plan designation of Mixed Use Activity District. The surrounding zoning and uses are identified as follows:

	Existing Zoning	Current General Plan	Existing Use(s)
Site	LC	Mixed Use Activity District	Target Center
North	RS-35	Specialty Educational Campus	Arizona Agribusiness & Equine Center
South	LC	Mixed Use Activity District	Retail Businesses
East	PS	Specialty Educational Campus	Maricopa County Community College District
West	Power Road/LC & RS-9	Mixed Use Activity District	Power Road, Home Depot & East Valley Free Will Baptist Church

C. PROJECT DESCRIPTION

As demonstrated on the plans included with this application, the proposal involves demolishing the approximate 10,000 sq. ft. Target garden center and reconfiguring a current storm water retention area and then repurposing that area for the development of a 6,000 sq. ft. freestanding retail shops building. The proposed new development includes reconfiguring the existing drives, parking and stormwater retention basin in support of the new retail shops building and consistent with Mesa's current development standards.

Costs for development of "ground up" retail centers have increased to the point that new, large projects are becoming prohibitive. However, as a publicly traded company the Owner is always seeking new and creative methods for increasing the Gross Leasable Area (GLA) of their properties. One of the new and unique methods employed industry wide is to seek out opportunities at existing properties to create the additional GLA.

At Red Mountain Gateway, the Owner has partnered with the Target Corporation to remove their underutilized garden center, then reconfigure this area to allow a new freestanding retail building. This strategy is a win-win scenario for Target, the Owner, and neighboring residents as it uses existing retail property, repurposes vacant space and provides additional shop spaces and services for residents. As noted earlier, Target has been gradually exiting from the garden center market at a majority of their superstores across the country. This garden center has been vacant for some time now. A summary of the pertinent site data is presented below.

PRE-DEVELOPMENT SITE DATA	POST-DEVELOPMENT SITE DATA
Parking: Total Parking Spaces Required = 654 Total Parking Spaces Provided = 1,058 Total Accessible Spaces Provided = 28	Parking: Total Parking Spaces Required = 702 Total Parking Spaces Provided = 1,033 Total Accessible Spaces Provided = 30
Lot Coverage: Target Parcel = 27.81% All Parcels = 23.75%	Lot Coverage: Target Parcel = 26.99% All Parcels = 23.29%
Building Square Footage: Target = 136,000 SF All Buildings = 209,013 SF	Building Square Footage: New Retail Shops = 6,000 SF Target = 126,000 SF All Buildings = 205,613 SF
Gross Area: Target Parcel = 12.09 AC All Parcels = 22.49 AC	Gross Area: Target Parcel = 12.09 AC All Parcels = 22.49 AC

D. BUILDING DESIGN CONCEPTS

After demolition of the Target garden center, the Owner is proposing to create a new west facing elevation that is in harmony with, and improves upon, the original approved Target design. Likewise, the new freestanding retail building is designed to reflect complimentary design elements and a color scheme using an updated color palette from the existing shopping center colors, which will be complementary with the design review approval granted by Mesa when Target originally developed. The new retail building is the beginning of the re-evaluation of the

center and is consistent with the considerations of its updating, as well. Within this area (to the west of the Target building), realignment of the existing parking, drives, and retention basin is intended to achieve the same design compliance, via a different configuration. The designs being utilized on this new building, will set the standard for future improvements that are being planned for the overall center.

E. LANDSCAPE

As demonstrated on the attached plans, the landscape concept proposed will incorporate low water use plant materials focused on blending with the color and form of the existing and previously approved landscape areas. The plant pallet consists of native and non-native plants found within the Arizona Department of Water Resources plant list and consistent with Mesa's desert uplands standards, modified slightly by the approvals in Case No. Z00-16. The intent of the design is to re-introduce vibrancy to the existing landscaping in an effort to revitalize this underutilized area of the existing Target supercenter.

F. PARKING

As noted above, the parking areas within the boundaries of the project will be reallocated to more appropriately serve the new retail shops – including accessible parking and fire access routes. As demonstrated in the “site data” on the plans, the total parking being provided complies with Mesa's requirements for both standard and accessible spaces.

G. PUBLIC UTILITIES & STORMWATER RETENTION

The existing City of Mesa water and wastewater utility mainlines within the site are of sufficient size and location to accommodate new utility services to the proposed retail shops. As demonstrated on the G&D plan, the reconfigured/relocated stormwater basin will maintain retention volumes consistent with previous approvals and current Mesa design standards. No changes in drainage patterns are anticipated or proposed.

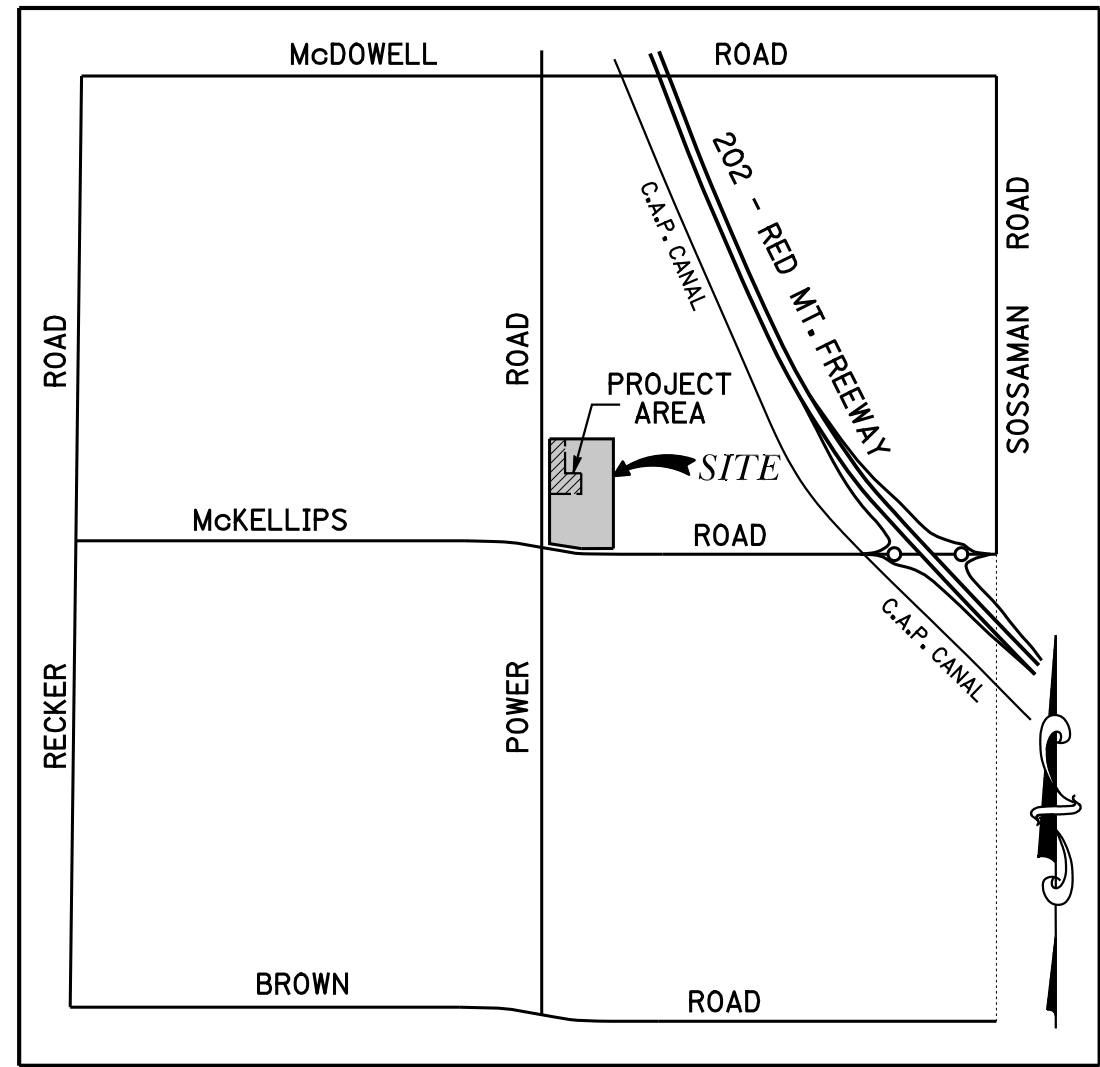
H. CIRCULATION SYSTEM

The site is located near the northeast corner of Power and Roads Roads. Primary access is via an existing signalized commercial driveway off Power Road. This project will not change its historic impact on the surrounding circulation system. Via the Owner's strategic design, the historic on-site circulation will be maintained. Site ingress and egress will not change from its current use.

I. CONCLUSION

The opportunity to repurpose the vacant area of the Target garden center gives the Owner the opportunity to create more viable restaurant and retail businesses at this prime location. This creates new jobs and revenue streams as well as allowing the Owner to expand its retail portfolio. We believe that this project enhances the community, creates jobs and provides an innovative solution to changes in retail market forces. Accordingly, we respectfully request staff's support for this project as it progresses through Mesa required development and permitting processes.

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VICINITY MAP
N.T.S.

SITE PLAN FOR RED MOUNTAIN GATEWAY NEC POWER ROAD & MCKELLIPS ROAD, MESA, AZ

LOCATED IN A PORTION OF SECTION 6, TOWNSHIP 1 NORTH, RANGE 7 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

DEVELOPER:
WEINGARTEN REALTY
4440 N. 36TH STREET
PHOENIX, ARIZONA 85018

CONTACT: SCOTT HENSON
PHONE: (602) 217-8848

ENGINEER:
3 ENGINEERING
2929 E. CAMELBACK ROAD, SUITE 116
PHOENIX, ARIZONA 85016

CONTACT: DANIEL G. MANN, P.E.
PHONE: (602) 334-4387
EMAIL: DAN@3ENGINEERING.COM

ARCHITECT:
ARCHICON
5055 E. WASHINGTON STREET, SUITE 200
PHOENIX, ARIZONA 85034

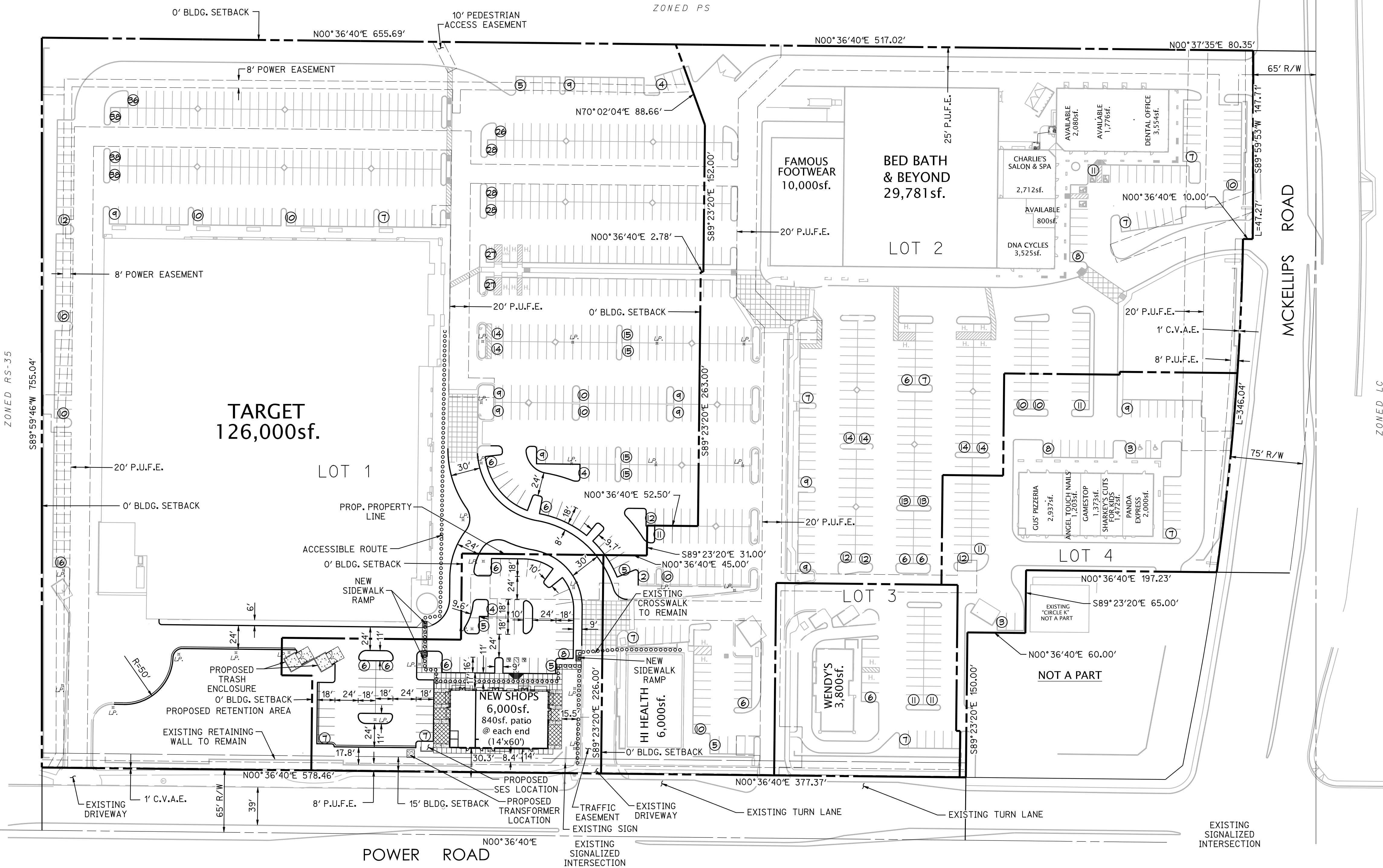
CONTACT: JEFF KOSKI
PHONE: (602) 222-4266

LEGAL DESCRIPTION:

A PORTION OF LOT ONE (1), OF MCPower CORNER,
ACCORDING TO THE PLAT OF RECORD IN THE OFFICE
OF THE COUNTY RECORDER OF MARICOPA COUNTY,
ARIZONA, RECORDED IN BOOK 556, OF MAPS, PAGE 12,
AND AMENDED IN BOOK 565 OF MAPS, PAGE 8 AND
AFFIDAVIT OF CORRECTION RECORDED AS
2001-0848987 OF OFFICIAL RECORDS.

SETBACKS:
MINIMUM:
FRONT (POWER ROAD): 15 FEET
SIDES: N/A
REAR: N/A

ZONED PS

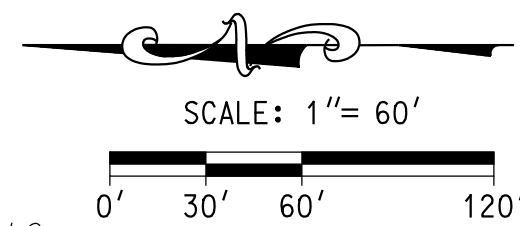


EXISTING PROJECT DATA

EXISTING ZONING	LC
GROSS AREA (TARGET PARCEL)	526,689 SQ. FT. OR 12.09 AC
NET AREA (TARGET PARCEL)	489,112 SQ. FT. OR 11.23 AC
GROSS AREA (ALL PARCELS)	979,453 SQ. FT. OR 22.49 AC
NET AREA (ALL PARCELS)	880,164 SQ. FT. OR 20.21 AC
TOTAL BUILDING SQUARE FOOTAGE	209,013 SQ. FT.
TARGET	136,000 SQ. FT.
HI HEALTH	6,000 SQ. FT.
WENDY'S	3,800 SQ. FT.
DNA CYCLES	3,525 SQ. FT.
CHARLIE'S SALON & SPA	2,712 SQ. FT.
DENTAL OFFICE	3,554 SQ. FT.
BED BATH & BEYOND	29,781 SQ. FT.
FAMOUS FOOTWEAR	10,000 SQ. FT.
GUS' PIZZERIA	2,937 SQ. FT.
ANGEL TOUCH NAILS	1,203 SQ. FT.
GAMESTOP	1,373 SQ. FT.
SHARKEY'S CUTS FOR KIDS	1,472 SQ. FT.
PANDA EXPRESS	2,000 SQ. FT.
VACANT RETAIL	4,656 SQ. FT.
TOTAL GROUP COMMERCIAL AREA	69,213 SQ. FT.
TOTAL RETAIL AREA (TARGET)	136,000 SQ. FT.
TOTAL INDOOR RESTAURANT AREA (WENDY'S)	3,800 SQ. FT.
TOTAL OUTDOOR RESTAURANT AREA	0 SQ. FT.
LOT COVERAGE (TARGET PARCEL)	27.81 %
LOT COVERAGE (ALL PARCELS)	23.75 %
PARKING SPACES REQUIRED GROUP COMMERCIAL (1/275 S.F.)	252 SPACES
PARKING SPACES REQUIRED RETAIL (1/375 S.F.)	363 SPACES
PARKING SPACES REQUIRED INDOOR RESTAURANT (1/100 S.F.)	38 SPACES
PARKING SPACES REQUIRED OUTDOOR RESTAURANT (1/200 S.F.)	0 SPACES
PARKING SPACES REQUIRED	653 SPACES
REGULAR PARKING SPACES PROVIDED	1,030 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	28 SPACES
TOTAL PARKING SPACES PROVIDED	1,058 SPACES

PROPOSED PROJECT DATA

PROPOSED ZONING	LC
GROSS AREA (TARGET PARCEL)	526,689 SQ. FT. OR 12.09 AC
NET AREA (TARGET PARCEL)	489,112 SQ. FT. OR 11.23 AC
GROSS AREA (ALL PARCELS)	979,453 SQ. FT. OR 22.49 AC
NET AREA (ALL PARCELS)	880,164 SQ. FT. OR 20.21 AC
TOTAL BUILDING SQUARE FOOTAGE	206,613 SQ. FT.
TARGET	126,000 SQ. FT.
HI HEALTH	6,000 SQ. FT.
WENDY'S	3,800 SQ. FT.
DNA CYCLES	3,525 SQ. FT.
CHARLIE'S SALON & SPA	2,712 SQ. FT.
DENTAL OFFICE	3,554 SQ. FT.
BED BATH & BEYOND	29,781 SQ. FT.
FAMOUS FOOTWEAR	10,000 SQ. FT.
GUS' PIZZERIA	2,937 SQ. FT.
ANGEL TOUCH NAILS	1,203 SQ. FT.
GAMESTOP	1,373 SQ. FT.
SHARKEY'S CUTS FOR KIDS	1,472 SQ. FT.
PANDA EXPRESS	2,000 SQ. FT.
VACANT RETAIL	4,656 SQ. FT.
NEW RETAIL/RESTAURANT BUILDING (4,400 SF INDOOR REST./1,600 SF OUTDOOR DINING/1,600 SF RETAIL)	6,000 SQ. FT.
TOTAL GROUP COMMERCIAL AREA	75,213 SQ. FT.
TOTAL RETAIL AREA (TARGET)	126,000 SQ. FT.
TOTAL INDOOR RESTAURANT AREA (WENDY'S)	3,800 SQ. FT.
TOTAL OUTDOOR RESTAURANT AREA	1,600 SQ. FT.
LOT COVERAGE (TARGET PARCEL)	26.99 %
LOT COVERAGE (ALL PARCELS)	23.29 %
PARKING SPACES REQUIRED GROUP COMMERCIAL (1/275 S.F.)	274 SPACES
PARKING SPACES REQUIRED RETAIL (1/375 S.F.)	336 SPACES
PARKING SPACES REQUIRED INDOOR RESTAURANT (1/100 S.F.)	38 SPACES
PARKING SPACES REQUIRED OUTDOOR RESTAURANT (1/200 S.F.)	8 SPACES
PARKING SPACES REQUIRED	656 SPACES
REGULAR PARKING SPACES PROVIDED	1,001 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	30 SPACES
TOTAL PARKING SPACES PROVIDED	1,031 SPACES



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1-800-782-5348
(OUTSIDE MARICOPA COUNTY)

RED MOUNTAIN GATEWAY
NEC POWER & MCKELLIPS, MESA, AZ



EXPIRES: 9/30/2019

3eengineering
civil engineering
planning
surveying

DESIGNED: D. MANN
CHECKED: D. MANN
DATE: 9/26/16

3 ENGINEERING, LLC
2929 E. CAMELBACK ROAD
SUITE 116
PHOENIX, ARIZONA 85016
PHONE: (602) 334-4387
FAX: (602) 490-3230
WWW.3ENGINEERING.COM

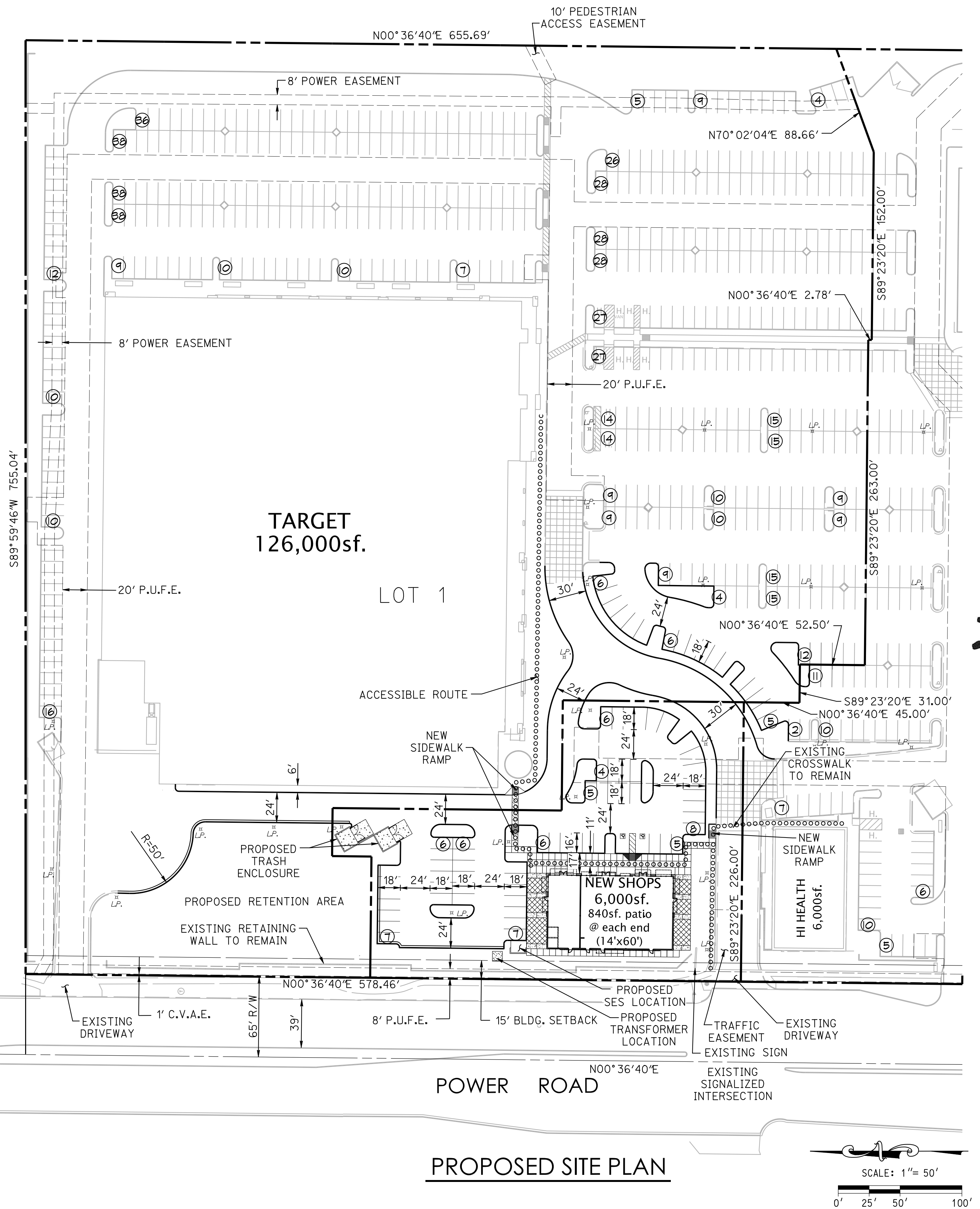
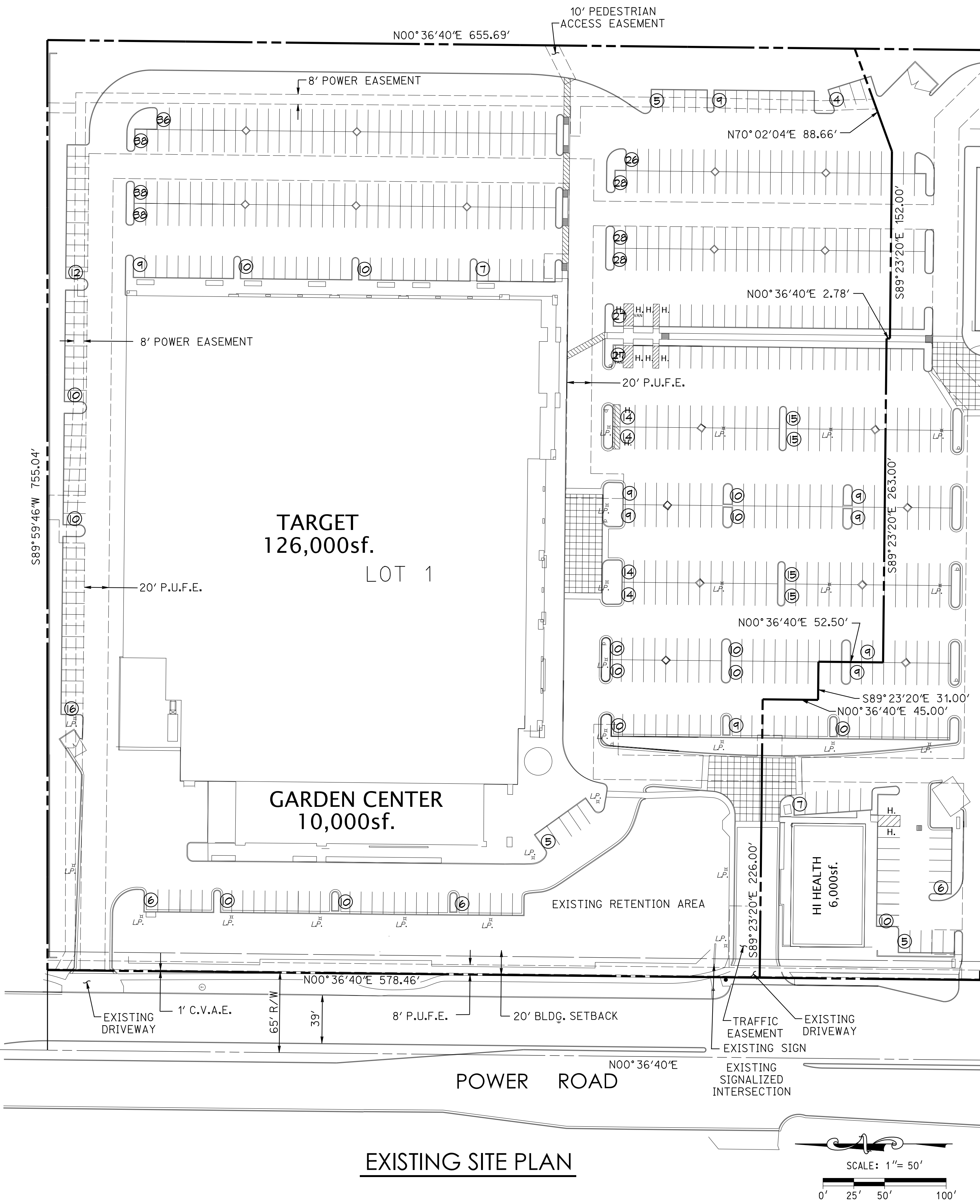
DATE: 09/26/16

PROJECT NO.
1212

SHEET NO.
SP01
1 of 2

EXISTING/PROPOSED SITE PLAN COMPARISON
FOR
RED MOUNTAIN GATEWAY
NEC POWER ROAD & MCKELLIPS ROAD, MESA, AZ
LOCATED IN A PORTION OF SECTION 6, TOWNSHIP 1 NORTH, RANGE 7 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

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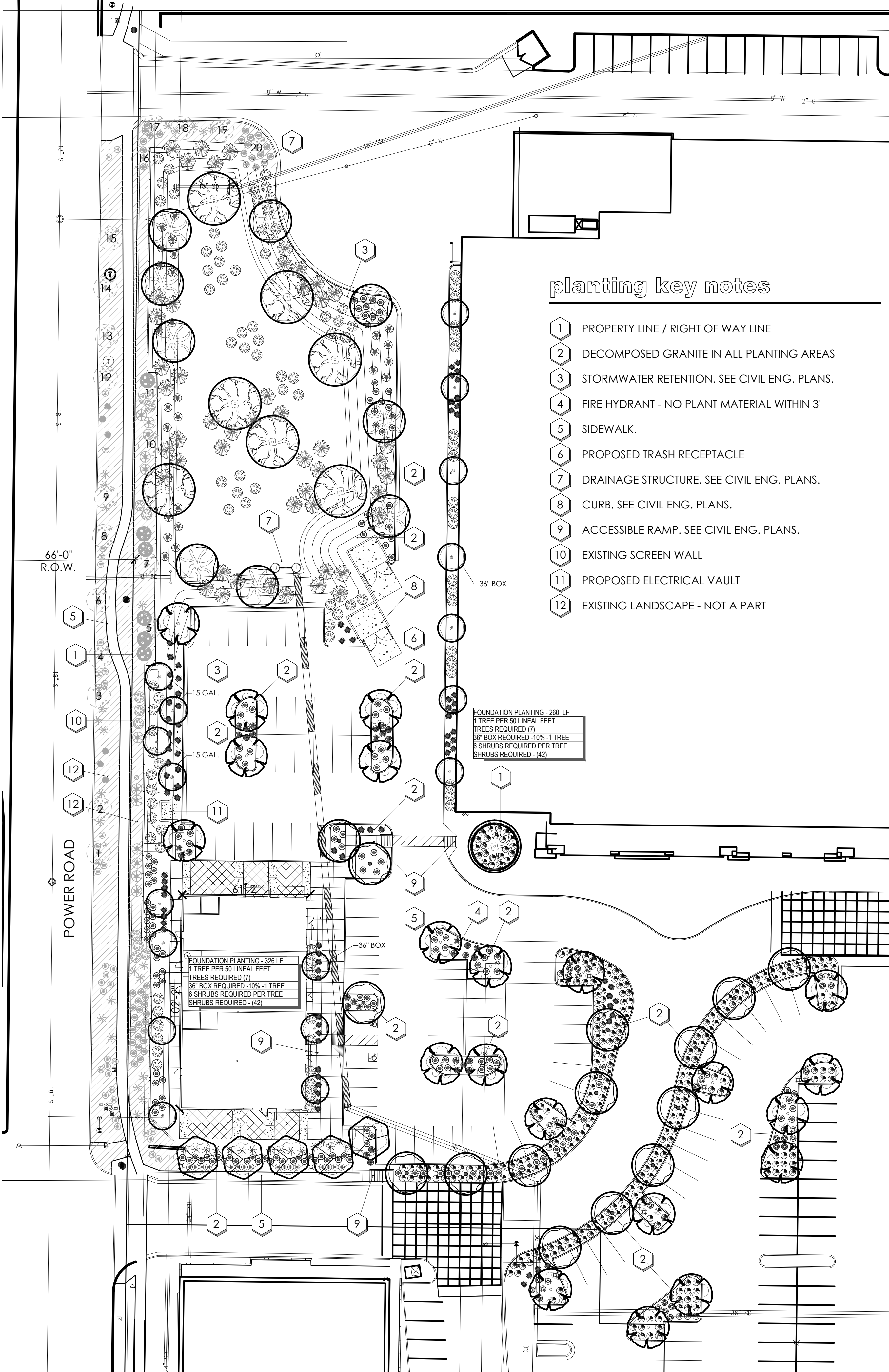
RED MOUNTAIN GATEWAY
NEC POWER & MCKELLIPS, MESA, AZ
SITE PLAN

Professional Engineer
46857
DANIEL G. MANN
9/26/2019
EXPIRES: 9/30/2019

300engineering
civil engineering
planning
DESIGNED: D. MANN
CHECKED: D. MANN
DATE: 9/26/2019
PROJECT NO. 1212
SHEET NO. SPO2
2 of 2

3 ENGINEERING, LLC
2929 E. CAMERON ROAD
SUITE 118
PHOENIX, ARIZONA 85016
PHONE: (602) 334-4387
FAX: (602) 490-2220
WWW.3ENGINEERING.COM

DATE: 09/26/16
PROJECT NO. 1212
SHEET NO. SPO2
2 of 2



planting key notes

- 1 PROPERTY LINE / RIGHT OF WAY LINE
- 2 DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3 STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 4 FIRE HYDRANT - NO PLANT MATERIAL WITHIN 3'
- 5 SIDEWALK.
- 6 PROPOSED TRASH RECEPTACLE
- 7 DRAINAGE STRUCTURE. SEE CIVIL ENG. PLANS.
- 8 CURB. SEE CIVIL ENG. PLANS.
- 9 ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- 10 EXISTING SCREEN WALL
- 11 PROPOSED ELECTRICAL VAULT
- 12 EXISTING LANDSCAPE - NOT A PART

FOUNDATION PLANTING - 260 LF
1 TREE PER 50 LINEAL FEET
TREES REQUIRED (7)
36" BOX REQUIRED - 10% - 1 TREE
6 SHRUBS REQUIRED PER TREE
SHRUBS REQUIRED - (42)

FOUNDATION PLANTING - 326 LF
1 TREE PER 50 LINEAL FEET
TREES REQUIRED (7)
36" BOX REQUIRED - 10% - 1 TREE
6 SHRUBS REQUIRED PER TREE
SHRUBS REQUIRED - (42)

existing trees (power road)

Plant #	Inventory Designation	Species	Scientific Name	Caliper (In)	Height (Ft)	Width (Ft)	Plant Condition
1	P	Blue Palo Verde	Parkinsonia Floridum	12	26	22	H
2	P	Blue Palo Verde	Parkinsonia Floridum	11	25	20	H
3	P	Blue Palo Verde	Parkinsonia Floridum	9	22	18	H
4	P	Blue Palo Verde	Parkinsonia Floridum	12	24	24	H
5	P	Blue Palo Verde	Parkinsonia Floridum	20	25	22	H
6	P	Blue Palo Verde	Parkinsonia Floridum	9	18	20	H
7	P	Blue Palo Verde	Parkinsonia Floridum	8	20	20	H
8	P	Blue Palo Verde	Parkinsonia Floridum	11	24	20	H
9	P	Blue Palo Verde	Parkinsonia Floridum	11	24	20	H
10	P	Blue Palo Verde	Parkinsonia Floridum	9	18	18	H
11	P	Blue Palo Verde	Parkinsonia Floridum	10	20	20	H
12	P	Blue Palo Verde	Parkinsonia Floridum	10	25	20	H
13	P	Blue Palo Verde	Parkinsonia Floridum	11	22	18	H
14	P	Blue Palo Verde	Parkinsonia Floridum	24	25	20	H
15	P	Blue Palo Verde	Parkinsonia Floridum	16	25	20	H
16	P	Ironwood	Olney Tesota	10	20	15	H
17	P	Ironwood	Olney Tesota	9	12	15	H
18	P	Native Mesquite	Prosopis Juliflora	12	20	20	H
19	P	Native Mesquite	Prosopis Juliflora	16	20	20	H
20	P	Foothills Palo Verde	Parkinsonia Microphylla	8	20	18	H

city of mesa landscape data

OVERALL:	
TREES PROVIDED FOR ENTIRE SITE:	75 TREES
36" BOX TREES REQUIRED:	18 TREES
(25% OF TREES REQUIRED FOR ENTIRE SITE)	
36" BOX TREES PROVIDED:	18 TREES
STREET FRONTAGE - 506 LINEAL FEET:	
TREES REQUIRED:	20 TREES
(1 PER 25' OF STREET FRONTAGE)	
EXISTING TREES :	17 TREES
24" BOX TREES REQUIRED:	10 TREES
(50% OF TREES REQUIRED)	
24" BOX TREES PROVIDED:	ALL TREES EXCEED 9" CAL.
36" BOX TREES REQUIRED:	5 TREES
(25% OF TREES REQUIRED)	
36" BOX TREES PROVIDED:	ALL TREES EXCEED 9" CAL.
SHRUBS REQUIRED - # LINEAL FEET / 6 =	150 SHRUBS
(6 PER 25' OF STREET FRONTAGE)	
EXISTING SHRUBS:	122
5 GALLON SHRUBS REQUIRED:	
(50% OF SHRUBS REQUIRED)	75 SHRUBS
5 GALLON SHRUBS PROVIDED:	ALL SHRUBS EXCEED 5 GAL.

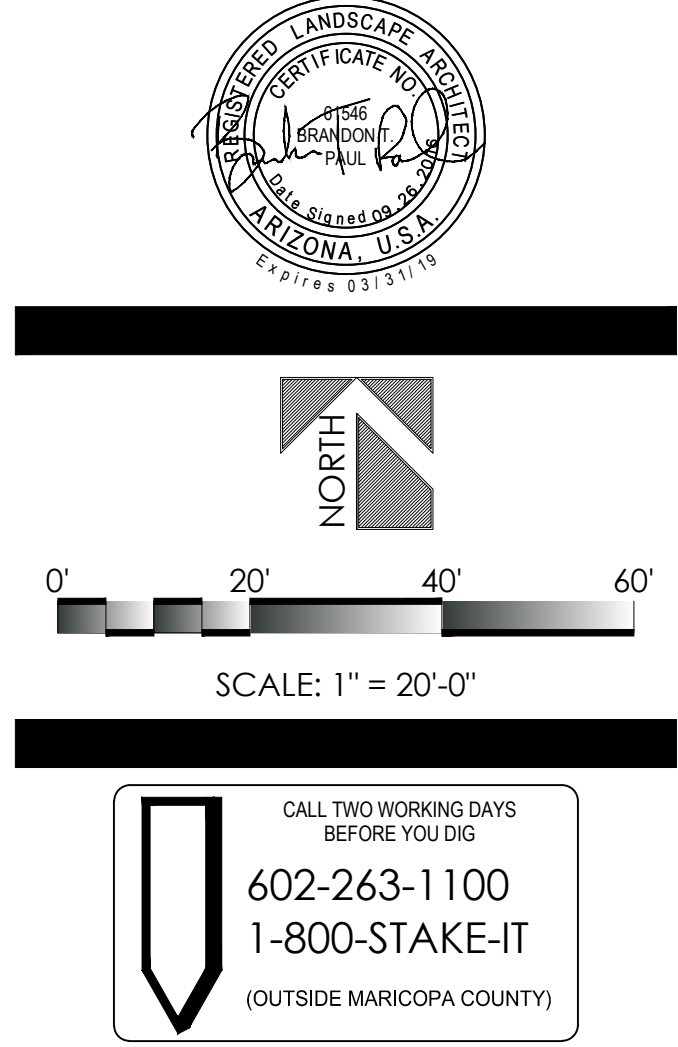
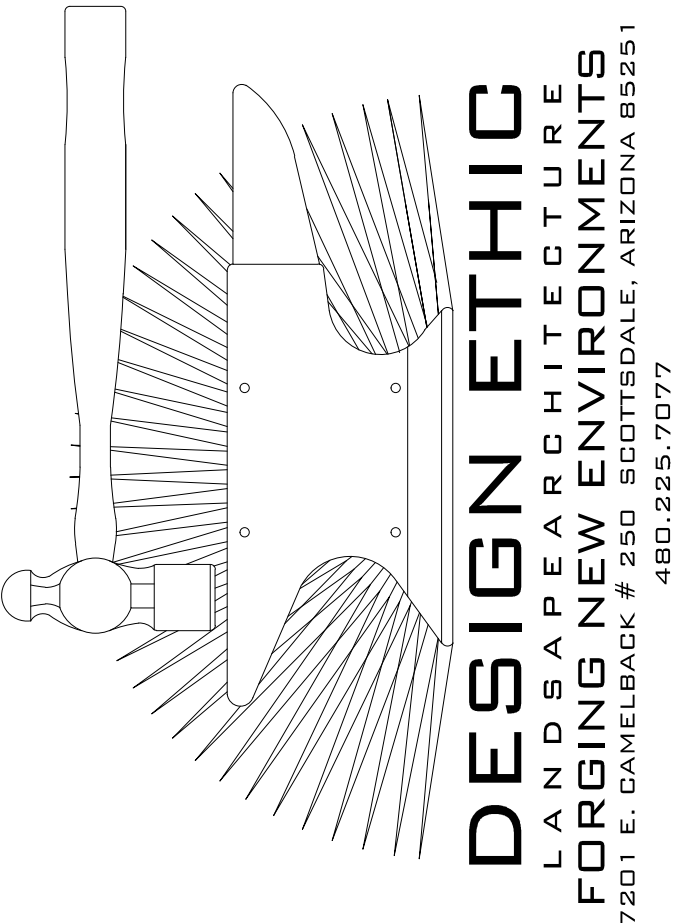
PARKING LOT:	
(1 TREE & 6 SHRUBS FOR EVERY 8 PARKING SPACES)	
(1 TREE & 3 SHRUBS FOR EVERY 15' PARKING ISLAND)	
(2 TREES & 6 SHRUBS FOR EVERY 30' PARKING ISLAND)	
TREES PROVIDED:	75 TREES
36" BOX TREES REQUIRED:	18 TREES
(25% OF TREES REQUIRED)	
36" BOX TREES PROVIDED:	18 TREES
24" BOX TREES REQUIRED:	37 TREES
(50% OF TREES REQUIRED)	
24" BOX TREES PROVIDED:	37 TREES
15 GAL. TREES REQUIRED:	19 TREES
(BALANCE OF TREES REQUIRED)	
15 GAL. TREES PROVIDED:	19 TREES
FOUNDATION: 650LF / 50 =	13 TREES
(1 TREE PER 50 LINEAL FEET)	
TREES PROVIDED:	1 TREES
36" BOX TREES REQUIRED:	2 TREES
(10% OF TREES REQUIRED)	
36" BOX TREES PROVIDED:	1 TREES
24" BOX TREES REQUIRED:	12 TREES
(BALANCE OF TREES REQUIRED)	
24" BOX TREES PROVIDED:	12 TREES

existing plant legend

	botanical name	common name
existing trees		
#	SPECIES VARY	
existing shrubs & accents		
	ACACIA REDOLENS	DESERT CARPET
	AMBROSIA DELTOIDEA	BURSAGE
	DASYLIRION QUADRANGULATUM	MEXICAN GRASS TREE
	DASYLIRION WHEELERI	DESERT SPOON
	HESPERALOE FUNIFERA	GIANT HESPERALOE
	HESPERALOE PARVIFLORA	RED YUCCA
	LANTANA MONTEVIDENSIS	PURPLE LANTANA
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA
	RUELLIA PENINSULARIS	DESERT RUELLIA

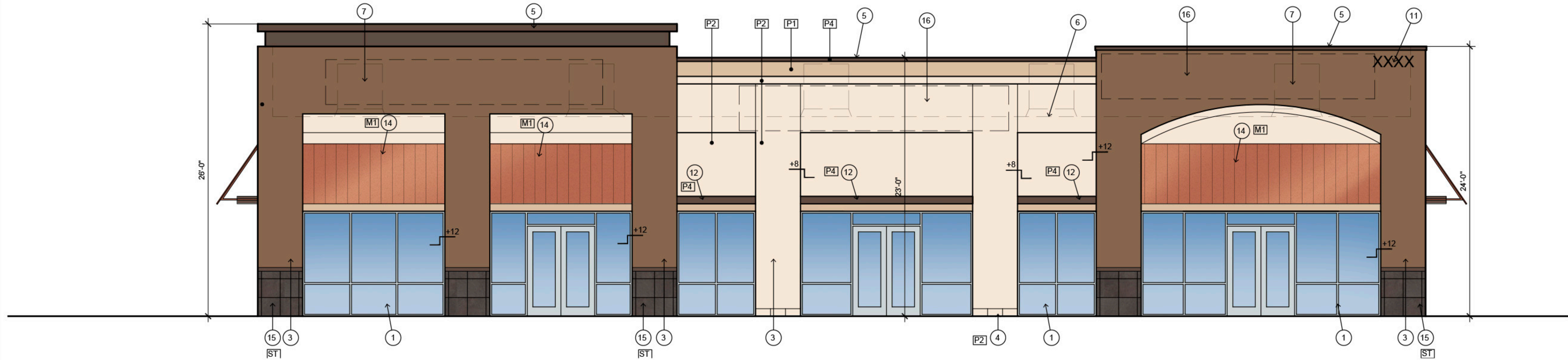
plant legend

	botanical name	common name
trees		
	CAESALPINIA CACALACO	'SMOOTHIE'
	THORNLESS CASCALOTE	
	PARKINSONI HYBRID 'AZT'	'AZT' THORNLESS PALO VERDE
	PARKINSONIA FLORIDUM	BLUE PALO VERDE
	PARKINSONIA PRAECOX	PALO BREA
	PROSOPIS PUBESCENS	SCREWBEAN MESQUITE
	PROSOPIS SEEDLESS	HYBRID 'AZT™'
	HYBRID 'AZT™'	'AZT™' SEEDLESS
	HYBRID MESQUITE	
shrubs		
	CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER
	RUELLIA PENINSULARIS	DESERT RUELLIA
accents		
	SIMMONDSIA CHINENSIS	JOJOBA
	DASYLIRION WHEELERI	DESERT SPOON
	HESPERALOE FUNIFERA	GIANT HESPERALOE
	HESPERALOE PARVIFLORA	RED YUCCA
	MUHLENBERGIA CAPILLARIS	REGAL MIST
	YUCCA PALLIDA	PALE LEAF YUCCA
	YUCCA RUPICOLA	TWISTED LEAF YUCCA
groundcover		
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA
inerts		
	DECOMPOSED GRANITE	MATCH EXISTING: COLOR/SIZE



RED MOUNTAIN GATEWAY
NEC POWER & MCKELLIPS
MESA, ARIZONA
PRELIMINARY PLANTING PLAN

JOB NO:	16-028
DATE:	
DRAWN BY:	B. PAUL
SUBMITTED:	09.26.2016
REVISED:	

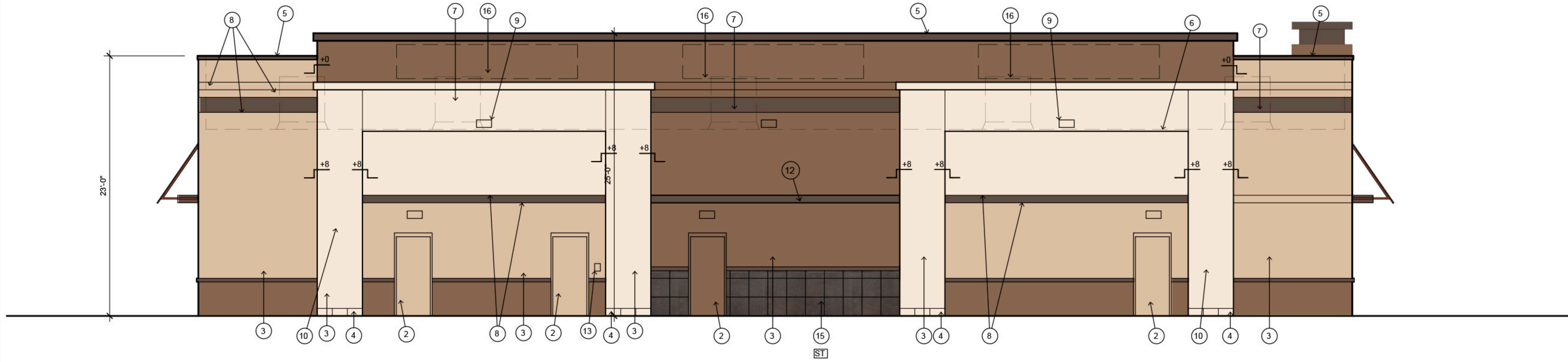


1 EAST ELEVATION

SCALE: 3/16" = 1'-0"

5 KEYNOTES

- [P1] DUNN EDWARDS "ALMOND LATTE" DE6143
[P2] DUNN EDWARDS "SALT BOX" DE6141
[P3] DUNN EDWARDS "STOCKHORSE" DE6126
P4 DUNN EDWARDS "BLACK WALNUT" DE6063
[MT] MBCI STANDING SEAM ROOFING "LOKSEAM" 12" WIDE PANELS
COLOR: COPPER METALLIC
[ST] STONE TILE, 24" X 24"
CACTUS TILE "CHARCOAL"
[AL] ALUMINUM STOREFRONT
CLEAR MILL FINISH
[GL] CLEAR INSULATED GLAZING



2 WEST ELEVATION

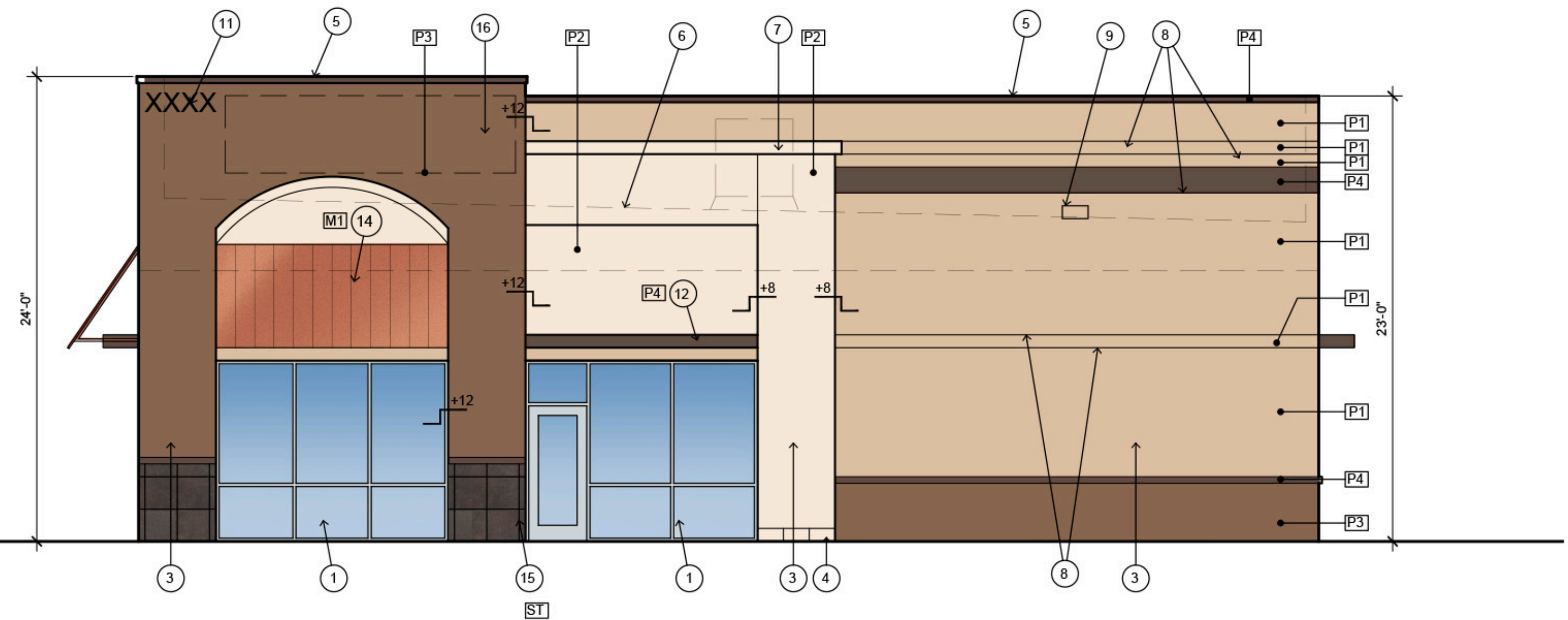
SCALE: 3/16" = 1'-0"

6 MATERIALS & COLORS



3 SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION

SCALE: 3/16" = 1'-0"



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RETAIL BUILDING
RED MOUNTAIN GATEWAY
N.E.C. MCKELLIPS RD & POWER RD
MESA, ARIZONA

JOB NO: 1686210-01
PROJECT MGR: J. KOSKI
DRAWN BY: J. KOSKI

CHECKED BY: J. PLANCK

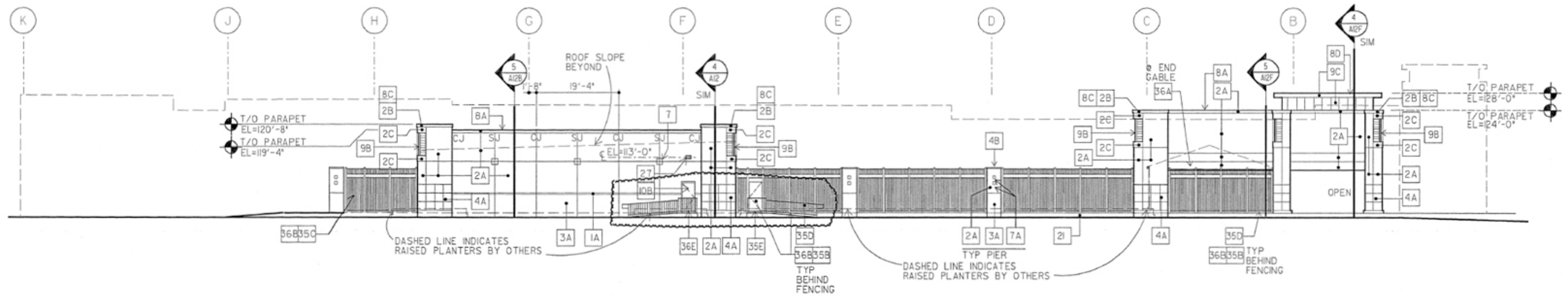
NO.	REVISION	DATE

SHEET TITLE:
EXTERIOR
ELEVATIONS

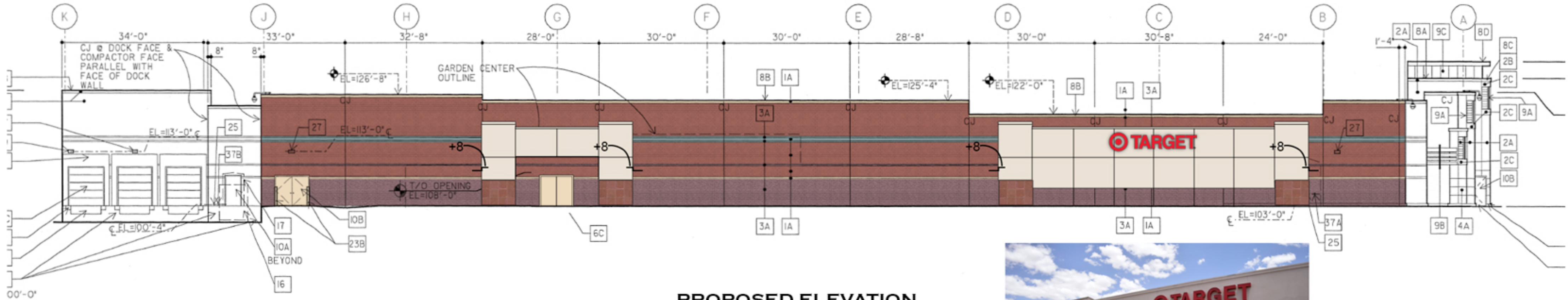


A300

ISSUE DATE: 26 SEP 2016



EXISTING ELEVATION



PROPOSED ELEVATION

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RED MOUNTAIN GATEWAY - TARGET TI

MESA - ARIZONA

PRELIMINARY RENDERING

ELEVATION EXHIBIT

DATE ISSUED: 09.23.2016

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RED MOUNTAIN GATEWAY

MESA - ARIZONA

DESIGN CONCEPT 5.5

SE CORNER

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RED MOUNTAIN GATEWAY

MESA - ARIZONA

DESIGN CONCEPT 5.5

SW CORNER

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RED MOUNTAIN GATEWAY

MESA - ARIZONA

DESIGN CONCEPT 5.5

NW CORNER

DATE ISSUED: 09.23.2016

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RED MOUNTAIN GATEWAY

MESA - ARIZONA

DESIGN CONCEPT 5.5

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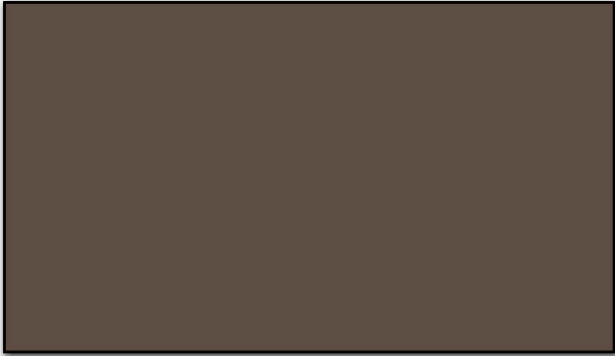
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MFR: DUNN EDWARDS



P2: DE6141 "SALT BOX"
MFR: DUNN EDWARDS



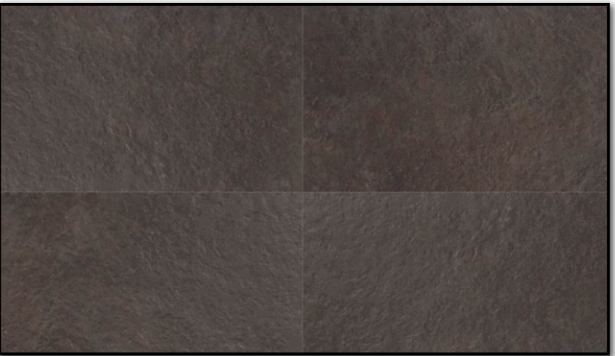
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MFR: DUNN EDWARDS



P4: DE6063 "BLACK WALNUT"
MFR: DUNN EDWARDS



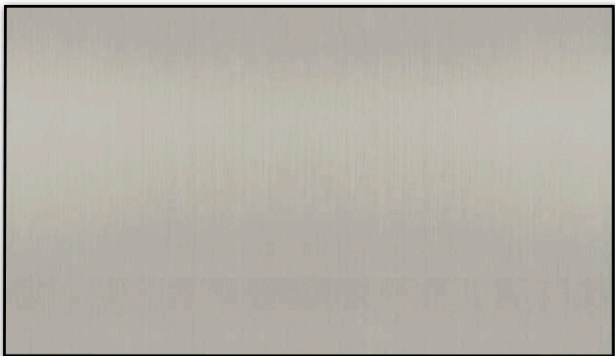
M1: COPPER METALLIC STANDING SEAM
MFR: MBCI



ST: CHARCOAL 24" X 24' TILE
MFR: CACTUS STONE



GL: CLEAR VISION GLAZING



AL: ALUMINUM STOREFRONT
CLEAR MILL ANODIZED FINISH

RED MOUNTAIN GATEWAY
MESA - ARIZONA

COLOR BOARD
DATE ISSUED: 06.24.2016

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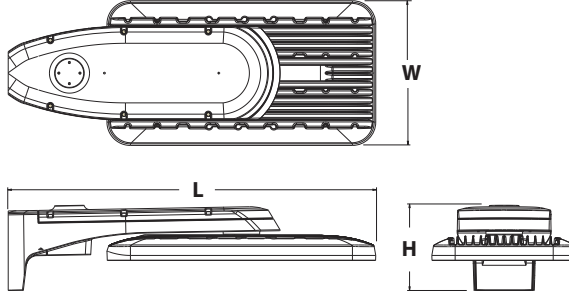


KAX LED Size 2 LED Area Luminaire



Specifications

EPA:	1.1 ft ² (0.1 m ²)
Length:	34" (86.4 cm)
Width:	13" (33 cm)
Height:	8" (20.3 cm)
Weight (max):	41 lbs (18.6 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

This feature-rich luminaire embodies the highest level of functionality, and with field-rotatable optics and optional tilt, light can be placed exactly where it's needed. The optics are specifically designed to maximize the light in the desired area and are particularly useful in small to medium sized parking lots requiring higher illuminance levels such as restaurants, banks, service stations, strip malls and even automotive dealerships. By providing the maximum amount of light at minimal cost, the KAX2 is the perfect choice for new installations or retrofit installations replacing up to 1000W MH.

Ordering Information

EXAMPLE: KAX2 LED P2 40K R3 MVOLT SPA DDBXD

KAX2 LED					
Series	Performance package	Color temperature	Distribution	Voltage	Mounting
KAX2 LED	P1 P2	30K 3000 K 40K 4000 K 50K 5000 K	R3 Type 3 R4 Type 4 R5 Type 5	MVOLT ¹ 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 480	Shipped included SPA Square pole mounting RPA Round pole mounting Shipped separately KMA Mast arm adaptor ²

Control options	Other options	Finish ^(required)
Shipped installed PER NEMA twist-lock receptacle only (no controls) ^{3,4} PER5 Five-wire receptacle only (no controls) ^{4,5} PER7 Seven-wire receptacle only (no controls) ^{4,5} PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ⁶ PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ⁶ PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ⁶ PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ⁶ FAO Field adjustable output ⁷	Shipped installed HS House-side shield ⁸ SF Single fuse (120, 277, 347V) ⁹ DF Double fuse (208, 240, 480V) ¹⁰ TILT Tilt arm Shipped separately BS Bird spikes ⁸ EGS External glare shield ⁸	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Accessories	
Ordered and shipped separately.	
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹¹
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹¹
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹¹
DSHORT SBK U	Shorting cap ¹¹
KMA DDBXD U	Mast arm mounting bracket adaptor (specify finish) ²
KAX2HS P1 U	House-side shield (P1)
KAX2HS P2 U	House-side shield (P2)
KAX2EGS U	External glare shield
KAXBS U	Bird spikes

Controls & Shields

NOTES

- 1 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120V, 208V, 240V or 277V options only when ordering with fusing (SF, DF options).
- 2 For use with 2-3/8" mast arm (not included).
- 3 Not available with ROAM®. See PER5 or PER7 option.
- 4 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See Accessories information.
- 5 If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls.
- 6 PIR and PIR1FC3V specify the SensorSwitch SBGR-10-ODP control; PIRH and PIRH1FC3V specify the SensorSwitch SBGR-6-ODP control; see [Outdoor Control Technical Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Ambient sensor disabled when ordered with DCR. Separate on/off required. Not available with PNMT options.
- 7 Dimming driver standard. Not available with PER5 or PER7.
- 8 Also available as a separate accessory; see Accessories information.
- 9 Must specify 120, 277, or 347V option.
- 10 Must specify 208, 240, or 480V option.
- 11 Requires luminaire to be specified with PER, PER5, or PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

For more control options, visit [DTL](#) and [ROAM](#) online.

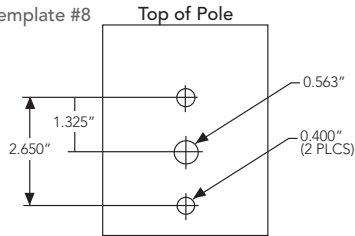


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KAX2-LED
Rev. 06/21/16
Page 1 of 3

Drilling

Template #8



KAX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's [POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.

**For round pole mounting (RPA) only.

Tenon Mounting Slipfitter **

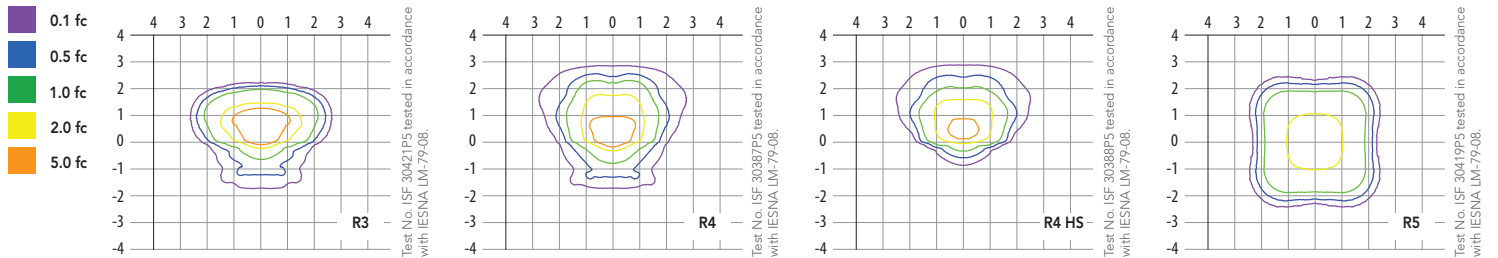
Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [KAX2 Area Light homepage](#).

Isofootcandle plots for the KAX2 LED P2 40K. Distances are in units of mounting height (30').

LEGEND



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)						40K (4000 K, 70 CRI)						50K (5000 K, 70 CRI)					
			Lumens	B	U	G	LPW		Lumens	B	U	G	LPW		Lumens	B	U	G	LPW	
P1	200	R3	24,474	3	0	3	122		26,112	3	0	3	131		26,572	3	0	3	133	
		R4	25,377	3	0	3	127		27,076	3	0	3	135		27,552	3	0	3	138	
		R5	26,882	4	0	2	134		28,681	4	0	2	143		29,186	4	0	2	146	
P2	248	R3	30,753	3	0	3	124		32,812	3	0	3	132		33,389	3	0	3	135	
		R4	31,888	3	0	3	129		34,022	3	0	4	137		34,621	3	0	4	140	
		R5	33,779	5	0	2	136		36,040	5	0	3	145		36,674	5	0	3	148	

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

* Shaded cells include active dynamic temperature sensing.

Ambient	Lumen Multiplier	
	P1	P2
0°C	1.05	1.05
10°C	1.03	1.03
20°C	1.01	1.01
25°C	1	1
30°C	0.99	0.99
40°C	0.82	0.9
45°C	0.74	0.8
50°C	0.66	0.59

Electrical Load

Package		120V	208V	240V	277V	347V	480V
P1	Current (A)	1.68A	0.94A	0.82A	0.71A	0.59A	0.43A
	System Watts	200W	195W	194W	194W	196W	195W
P2	Current (A)	2.07A	1.19A	1.04A	0.91A	0.76A	0.58A
	System Watts	248W	244W	243W	243W	246W	247W

Projected LED Lumen Maintenance

Operating Hours	25,000	50,000	100,000
Lumen Maintenance Factor	>0.94	>0.89	>0.80

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

FEATURES & SPECIFICATIONS

INTENDED USE

This feature-rich luminaire embodies the highest level of functionality with extraordinary efficacy which maximizes your application efficiency providing high levels of light for minimal cost specifically on small to medium sized parking lots like banks, restaurants, service stations, strip malls and automotive dealerships. Suitable replacement for luminaires up to 1000W metal halide.

CONSTRUCTION

Separated die-cast aluminum heat sink and mounting arm allow maximum air flow and separated electrical compartments to promote cool operating environments extending component life. This modular design allows for ease of maintenance and future light engine upgrades. The KAX features a field rotatable optical assembly enabling on-the-fly adjustments when plans change, and can even be tilted upwards if necessary for additional forward throw. The housing is completely sealed against moisture and environmental contaminants (IP66). Low EPA (1.1 ft2) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. Light engines are available in 3000 K, 4000 K or 5000 K (minimum 70 CRI) configurations. In its standard configuration the KAX has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight. With the TILT option, the optical assembly can be tilted up to 80 degrees for additional forward throw or to provide vertical illumination.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (>L80/100,000 hours). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2)

INSTALLATION

The base of the mounting arm features a universal mounting template to facilitate quick and easy installation. Mounting bolts featuring a 1000-hour salt fog finish are utilized to secure the luminaire providing up to a 1.5 G vibration load rating per ANSI C136.31. The KAX utilizes the AERIS™ series pole drilling pattern. Optional bi-level motion sensor and NEMA 3, 5 or 7 pin twist lock photocontrol receptacle are also available.

LISTINGS

CSA Listed for wet locations. Light engines and electrical compartment are IP66 rated. Rated for minimum ambient temperatures as low as -40°C.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



KAXW LED Wall Luminaire



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

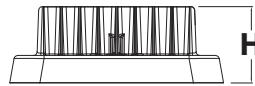
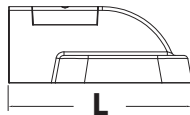
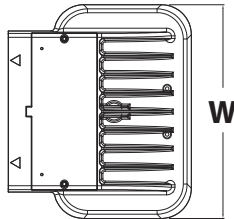
Specifications

Length: 14"
(35.6 cm)

Width: 12"
(30.5 cm)

Height: 5"
(12.7 cm)

Weight (max): 19.7 lbs
(8.9 kg)



Introduction

This feature-rich luminaire embodies the highest level of functionality, making it the perfect choice for most building mount applications. The optics are specifically designed to maximize the light in the desired area making it the smart choice for building-mounted doorway and pathway illumination on nearly any type of facility. By providing the maximum amount of light at minimal cost, the KAXW is the perfect choice for new installations or retrofit installations replacing up to 400W MH.

Ordering Information

EXAMPLE: KAXW LED P3 40K R3 MVOLT DDBXD

KAXW LED								
Series	Performance package	Color temperature	Distribution	Voltage	Mounting	Control options	Other options	Finish (required)
KAXW LED	P1 P2 P3	30K 3000 K 40K 4000 K 50K 5000 K	R3 Type 3 R4 Type 4	MVOLT ¹ 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 ² 480 ²	Shipped included (blank) Surface mounting bracket	Shipped installed PER NEMA twist-lock receptacle only (no controls) ^{3,4} PER5 Five-wire receptacle only (no controls) ^{4,5} PER7 Seven-wire receptacle only (no controls) ^{4,5} PIR 180° motion/ambient light sensor, <15' mtg ht ⁶ FAO Field adjustable output ⁷	Shipped installed SF Single fuse (120, 277 or 347V) ⁸ DF Double fuse (208, 240 or 480V) ⁹ HS House-side shield ¹⁰ LCE Left Conduit Entry ¹¹ RCE Right Conduit Entry ¹¹ Shipped separately BSW Bird-deterrent spikes ¹⁰ EGS External glare shield ¹⁰	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBL BXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120V, 208V, 240V or 277V options only when ordering with fusing (SF, DF options).
- Not available in the P1 performance package.
- Not available with ROAM®. See PER5 or PER7 option.
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See Accessories information.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls.

- Specifies the Sensor Switch MSOD-7-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with PER5 or PER7. Must specify 120V or 277V.
- Dimming driver standard. Not available with PER5 or PER7 options.
- Must specify 120, 277, or 347V option.
- Must specify 208, 240, or 480V option.
- Also available as a separate accessory; see Accessories information.
- Requires a contractor supplied ½" EMT raintight fitting.
- Requires luminaire to be specified with PER, PER5 or PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹²
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹²
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹²
DSHORT SBK U	Shorting cap
KAXWHS U	House-side shield
KAXWBSW U	Bird-deterrent spikes
KAXWEGS U	External glare shield



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	29	R3	3,322	1	0	1	115	3,545	1	0	1	122	3,607	1	0	1	124
		R4	3,415	1	0	1	118	3,643	1	0	1	126	3,707	1	0	1	128
P2	49	R3	5,731	1	0	1	117	6,115	1	0	1	125	6,222	1	0	1	127
		R4	5,891	1	0	1	120	6,285	1	0	1	128	6,396	1	0	1	131
P3	79	R3	8,852	1	0	1	112	9,445	2	0	2	120	9,611	2	0	2	122
		R4	9,099	2	0	2	115	9,708	2	0	2	123	9,879	2	0	2	125

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

* Shaded cells include active dynamic temperature sensing.

Ambient	Lumen Multiplier		
	P1	P2	P3
0°C	1.05	1.05	1.05
10°C	1.03	1.03	1.03
20°C	1.01	1.01	1.01
25°C	1	1	1
30°C	0.99	0.99	0.99
40°C	0.97	0.97	0.93
45°C	0.96	0.96	0.84
50°C	0.95	0.95	0.74

Electrical Load

Package		120V	208V	240V	277V	347V	480V
P1	Current (A)	0.24A	0.14A	0.13A	0.11A		
	System Watts	29W	29W	29W	29W		
P2	Current (A)	0.41A	0.24A	0.21A	0.18A	0.14A	0.11A
	System Watts	49W	48W	48W	48W	47W	47W
P3	Current (A)	0.66A	0.38A	0.33A	0.29A	0.23A	0.17A
	System Watts	79W	78W	78W	78W	77W	76W

Projected LED Lumen Maintenance

Operating Hours	25,000	50,000	100,000
Lumen Maintenance Factor	>0.94	>0.89	>0.80

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

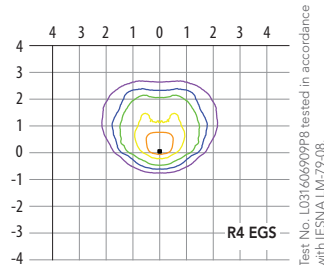
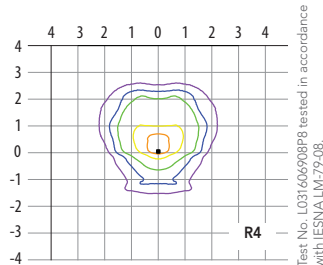
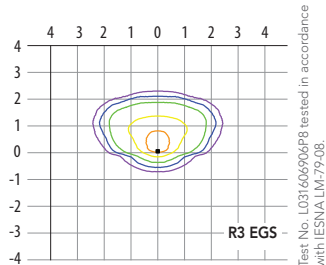
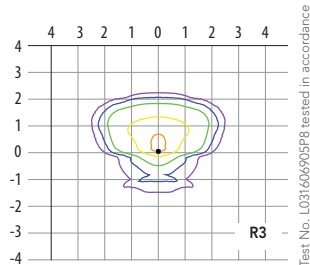
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [KAXW homepage](#).

Isofootcandle plots for the KAXW LED P3 40K. Distances are in units of mounting height (20').

LEGEND

- 0.1 fc
- 0.5 fc
- 1.0 fc
- 2.0 fc
- 5.0 fc



FEATURES & SPECIFICATIONS

INTENDED USE

This feature-rich luminaire embodies the highest level of functionality with extraordinary efficacy which maximizes your application efficiency providing high levels of light for minimal cost specifically for building-mounted doorway and pathway illumination on nearly any type of facility.

CONSTRUCTION

The die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. This modular design allows for ease of maintenance and future light engine upgrades. The LED driver is installed in a separate compartment to thermally isolate it from the light engines for low operating temperature and long life. The housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. Light engines are available in 3000 K, 4000 K or 5000 K (minimum 70 CRI) configurations. The KAXW has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to >L80/100,000 hours). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours.

INSTALLATION

Included wall mount plate facilitates a quick and easy installation. Mounting bolts feature a 1000-hour salt fog finish. Optional bi-level motion sensor and NEMA 3, 5 or 7 pin twist lock photocontrol receptacle are also available.

LISTINGS

CSA Listed for wet locations. Light engines and electrical compartment are IP66 rated. Rated for temperatures as low as -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

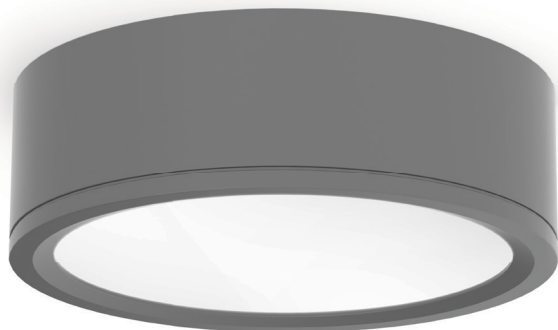


TUBE - model: FM-W2612

LED Ceiling/Wall Mount

WAC LIGHTING

Responsible Lighting®



Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Sleek and stylish. Tube is offered in round and cylindrical profiles for various applications and design themes. Crafted of die cast aluminum with an etched glass diffuser for broad based or focused illumination in baths, closets and other rooms, as well as outdoor locations, in residential and commercial spaces. Mounts to walls or ceilings. Five handsome finishes.

FEATURES

- CEC Title 24 Compliant
- Wall or Ceiling Mount
- IP65 Rated, ETL & cETL wet Location Listed
- Die-Cast Aluminum Construction
- Universal Voltage Input (120V - 277V)
- Dimming: ELV (120V) or 0-10V

SPECIFICATIONS

Construction: Aluminum with etched glass.

Power: Integral driver in luminaire. 120V - 277V input.

Light Source: High output LED

Mounting: Mounts directly to junction box

Dimming: 0-10V Dimming: 100%-10%

ELV Dimming: 100%-15% (120V only)

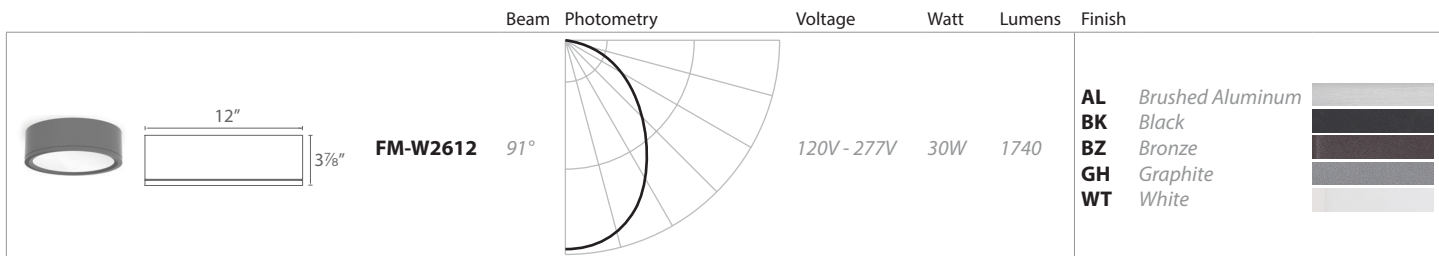
Finish: Brushed Aluminum (AL), Black (BK), Bronze (BZ), Graphite (GH), White (WT)

Color Temp: 3000K

CRI: 90

Rated Life: 70,000 hours

Standards: IP65 Rated, ETL & cETL Wet Location Listed, CEC Title 24 Compliant

 -

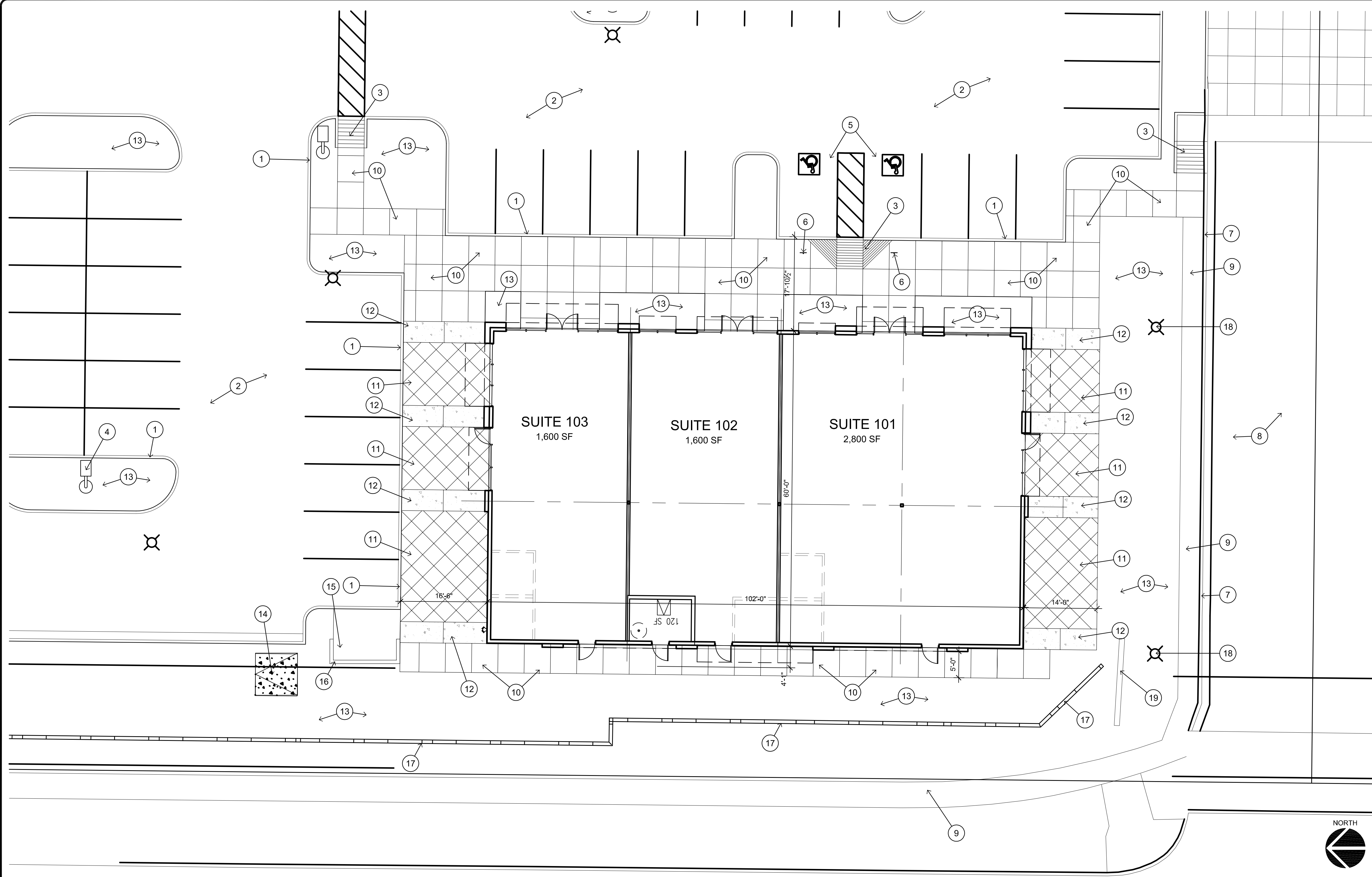
Example: **FM-W2612-GH**

waclighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760



- 1 NEW CONCRETE CURB - SEE CIVIL DRAWINGS
- 2 NEW ASPHALT PAVING - SEE CIVIL DRAWINGS
- 3 ADA RAMP - SEE CIVIL DRAWINGS
- 4 NEW PARKING LOT LIGHT FIXTURE
- 5 ADA PARKING SPACE. SEE CIVIL DRAWINGS
- 6 ADA PARKING SIGNAGE
- 7 EXISTING CURB AND GUTTER TO REMAIN
- 8 EXISTING DRIVE AISLE TO REMAIN
- 9 EXISTING SIDEWALK TO REMAIN
- 10 NEW 4" THICK GRAY CONCRETE SIDEWALK WITH BROOM FINISH
- 11 NEW 4" THICK GRAY CONCRETE SIDEWALK WITH DIAGONAL SCORED 3' X 3' WITH BROOM FINISH
- 12 4" THICK GREY CONCRETE WITH HEAVY SALT FINISH
- 13 LANDSCAPED AREA. SEE LANDSCAPE PLANS
- 14 ELECTRICAL TRANSFORMER LOCATION
- 15 ELECTRICAL S.E.S. (SERVICE ENTRY SECTION) LOCATION
- 16 8 FOOT TALL CMU SCREEN WALL
- 17 EXISTING CMU SCREEN WALL
- 18 EXISTING LIGHT FIXTURE TO REMAIN
- 19 EXISTING SIGNAGE TO REMAIN

1 HARDSCAPE SITE PLAN

SCALE: 1" = 10'

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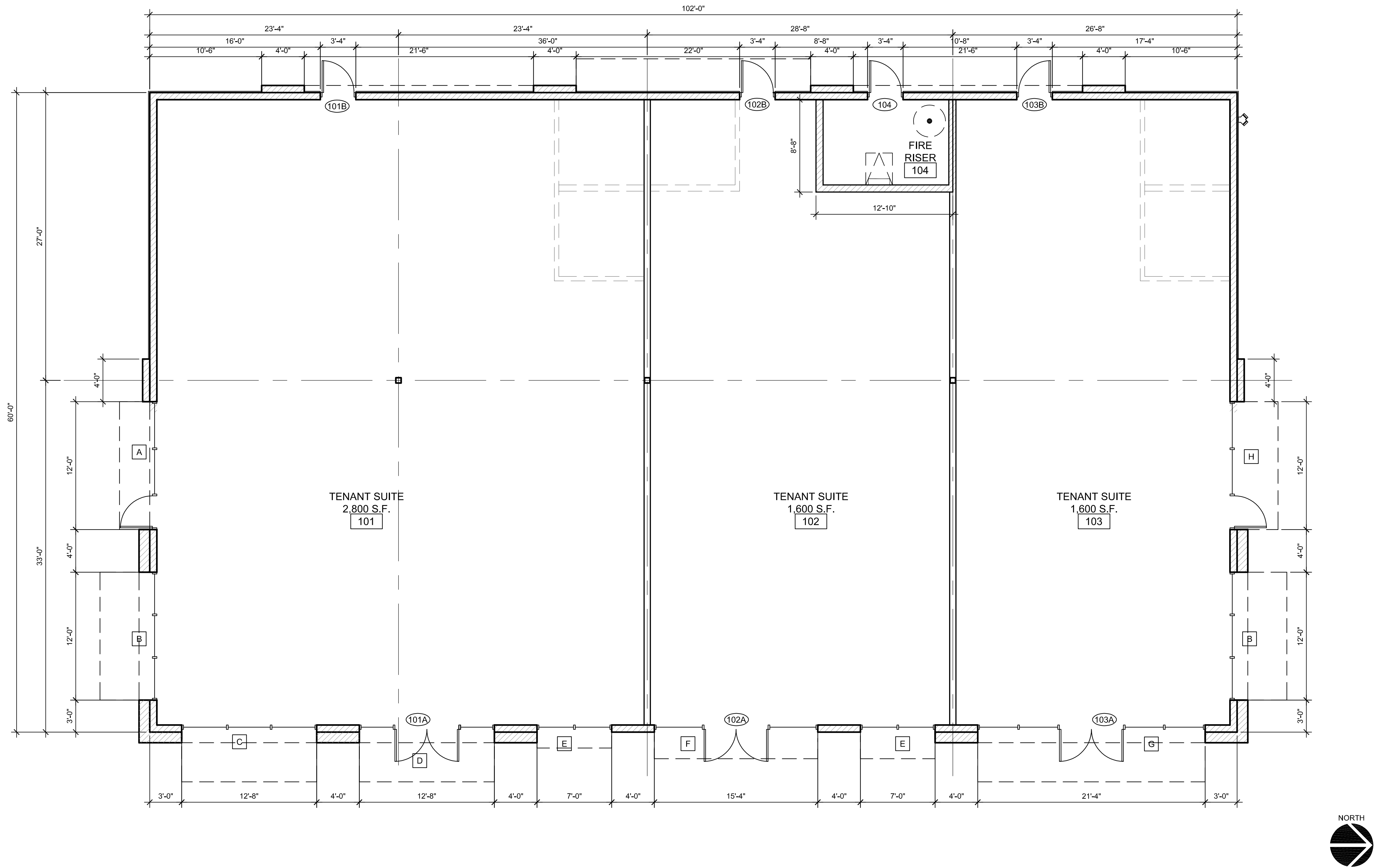
RETAIL BUILDING
RED MOUNTAIN GATEWAY
N.E.C. MCKELLIPS RD & POWER RD
MESA, ARIZONA

JOB NO: 1686210-01		
PROJECT MGR: J. KOSKI		
DRAWN BY: J. KOSKI		
CHECKED BY: J. PLANCK		
NO.	REVISION	DATE

SHEET TITLE:
HARDSCAPE PLAN



A100
ISSUE DATE: 26 SEP 2016



1 FLOOR PLAN

SCALE: 3/16" = 1'-0"



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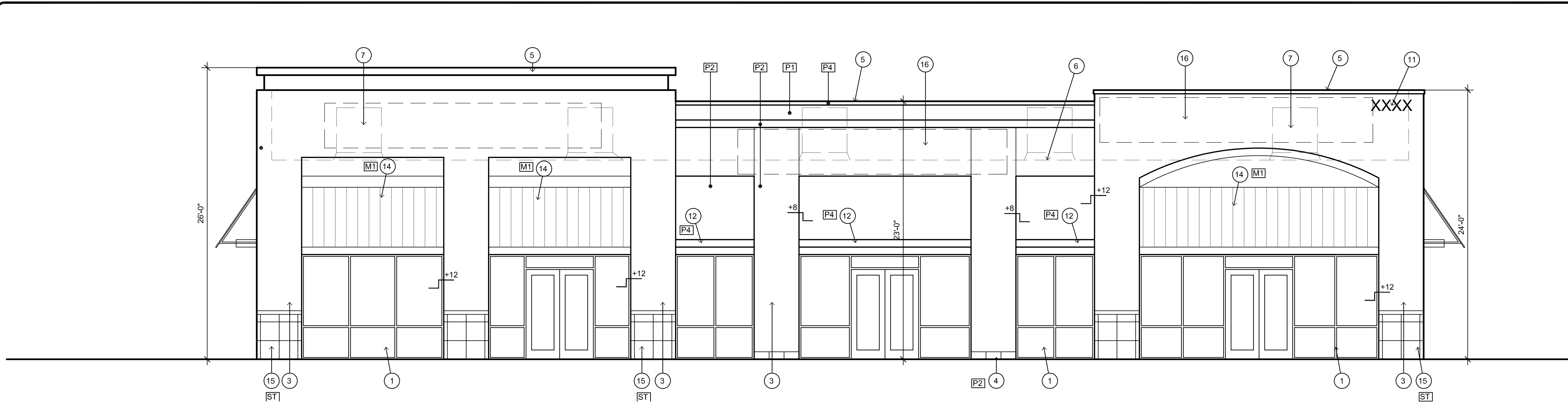
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SUBJECT MGR:	J. KOSKI	
DRAWN BY:	J. KOSKI	
CHECKED BY:	J. PLANCK	
	REVISION	DATE

SHEET TITLE:
FLOOR PLAN



A200

ISSUE DATE: 26 SEP 2016

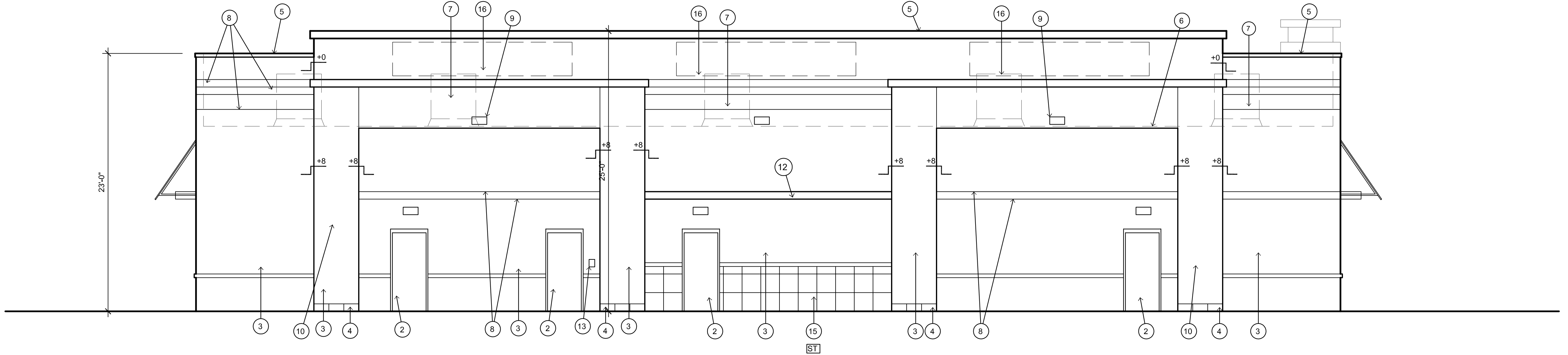


1 EAST ELEVATION

SCALE: 3/16" = 1'-0"

5 KEYNOTES

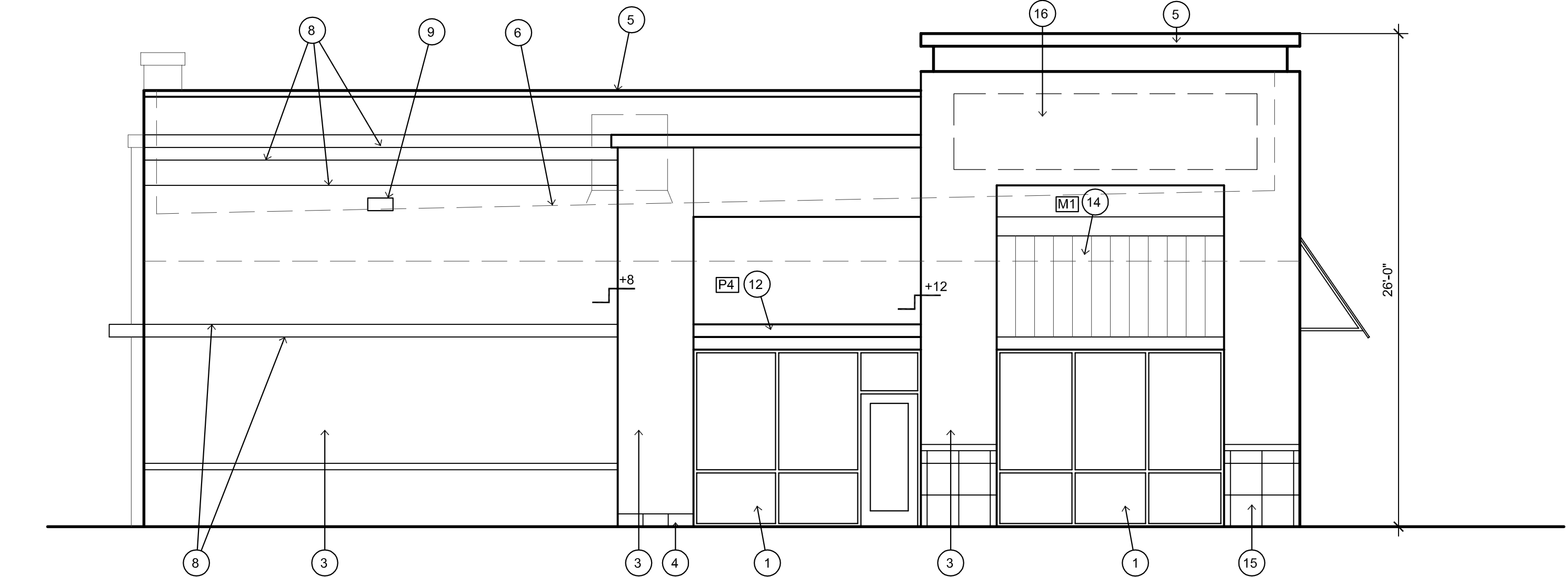
- [P1] DUNN EDWARDS "ALMOND LATTE" DE6143
- [P2] DUNN EDWARDS "SALT BOX" DE6141
- [P3] DUNN EDWARDS "STOCKHORSE" DE6126
- P4 DUNN EDWARDS "BLACK WALNUT" DE6063
- [M1] MBCI STANDING SEAM ROOFING "LOKSEAM" 12" WIDE PANELS
COLOR: COPPER METALLIC
- [ST] STONE TILE, 24" X 24"
CACTUS TILE "CHARCOAL"
- [AL] ALUMINUM STOREFRONT
CLEAR MILL FINISH
- [GL] CLEAR INSULATED GLAZING



2 WEST ELEVATION

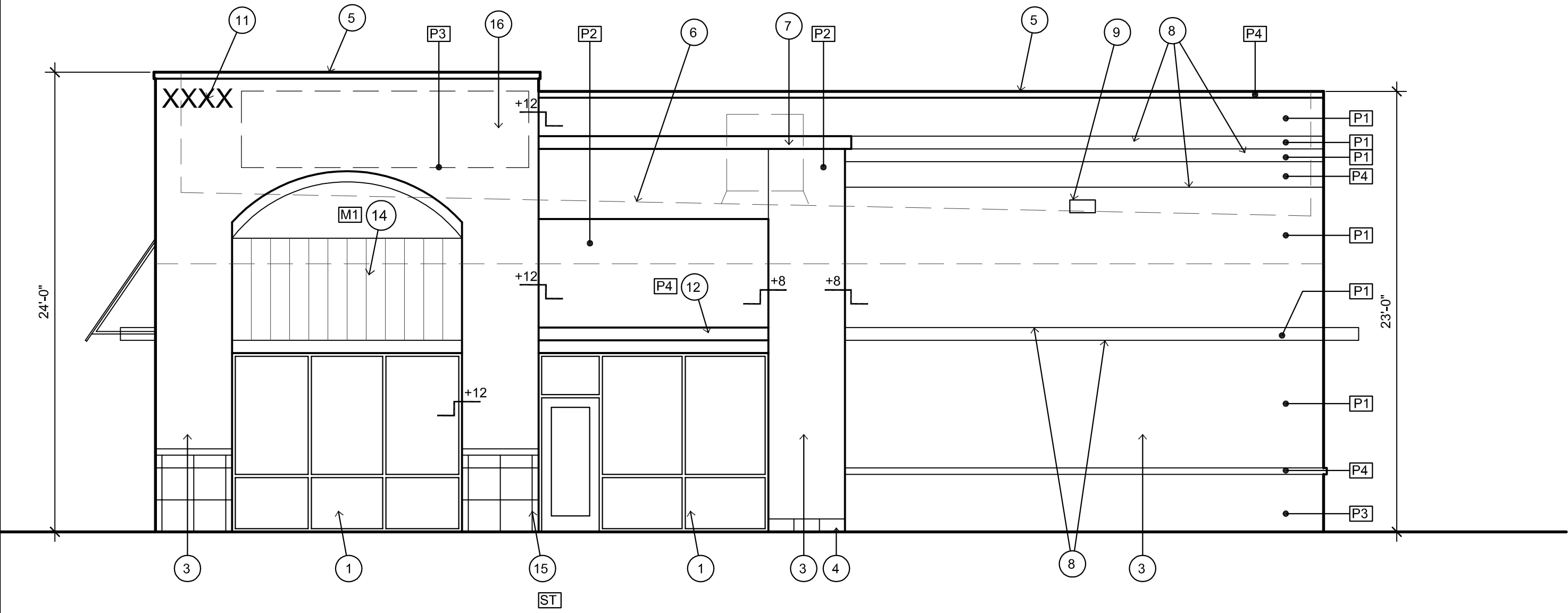
SCALE: 3/16" = 1'-0"

6 MATERIALS & COLORS



3 SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION

SCALE: 3/16" = 1'-0"



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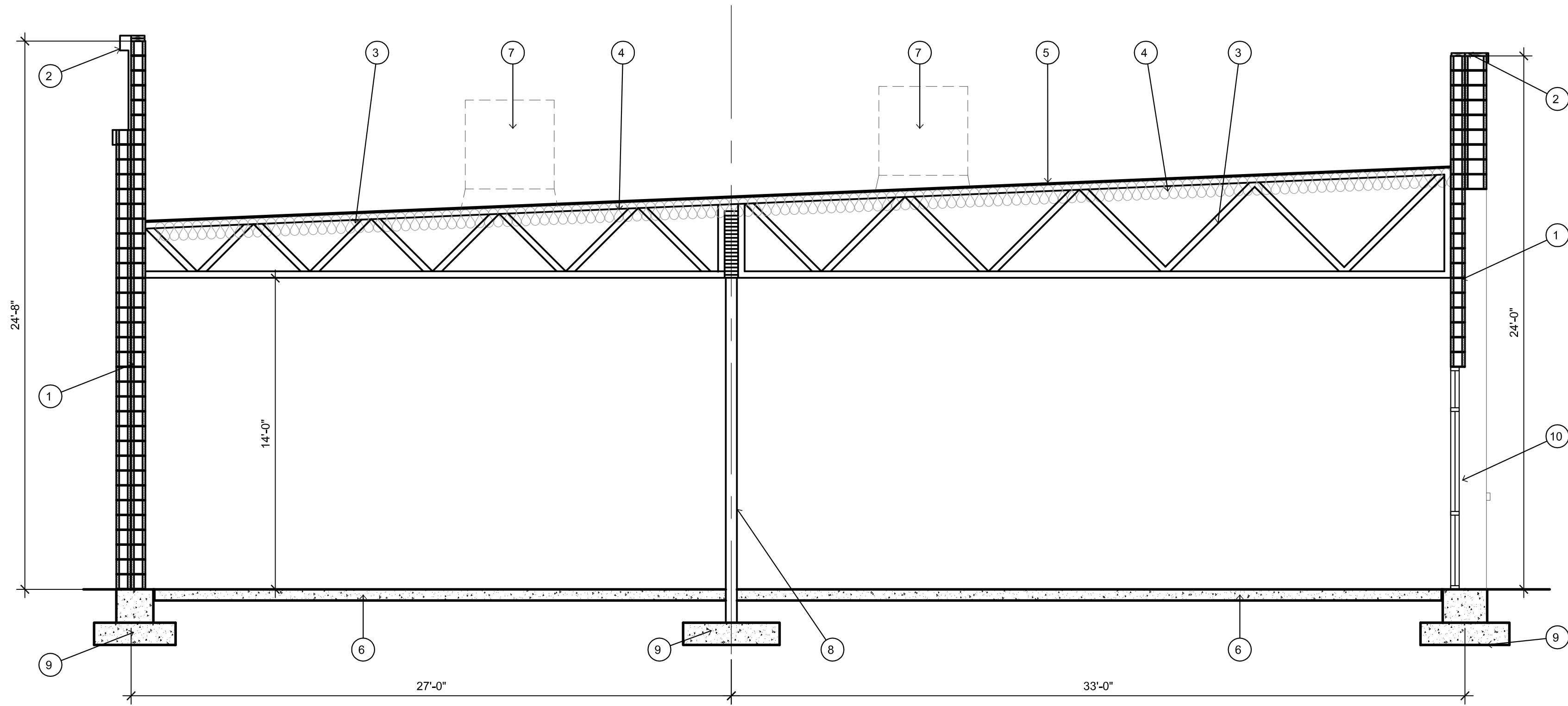
NO.	REVISION	DATE

SHEET TITLE:
EXTERIOR
ELEVATIONS



A300

ISSUE DATE: 26 SEP 2016



- 1 CONCRETE MASONRY UNITS WITH STUCCO FINISH
- 2 FOAM PARAPET CAP
- 3 WOOD ROOF TRUSSES
- 4 R-38 BATT INSULATION UNDER ROOF
- 5 ROOFING MEMBRANE
- 6 CONCRETE FLOOR SLAB
- 7 MECHANICAL UNIT, FULLY SCREENED BY PARAPET
- 8 STEEL COLUMN
- 9 CONCRETE FOOTING
- 10 ALUMINUM STOREFRONT SYSTEM

1 BUILDING SECTION

2 KEYNOTES

SCALE: 1/4" = 1'-0"



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PROJECT MGR: J. KOSKI
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CHECKED BY: J. PLANCK

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SHEET TITLE:
BUILDING
SECTIONS



EXPIRES: 12/31/2018

A400

ISSUE DATE: 26 SEP 2016

EXISTING SITE PHOTOS

LOOKING NORTH AT TARGET GARDEN CENTER



LOOKING SOUTH AT TARGET GARDEN CENTER



LOOKING NORTHEAST FROM EXISTING BASIN



LOOKING SE AT SITE FROM POWER ROAD



LOOKING WEST AT SITE/BASIN FROM TARGET STORE FRONTAGE



LOOKING EAST AT SITE FROM POWER ROAD

